

STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to existing house at

No. 33 Third Street, Ashbury NSW 2193

Prepared for:
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33 Third Street Ashbury NSW 2193

Prepared by:
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Statement of Environmental Effects for the Alterations and Additions at 33 Third Street, Ashbury NSW 2193

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1.0 INTRODUCTION

Scott Weston Architecture Design PL - (hereinafter referred to as SWAD PL), has prepared the Statement of Environmental Effects (SEE) for Josh and Sean Szeps. SWAD PL has had expertise in Residential Architectural Design since 1998.

This SEE is to accompany a Development Application to the City of Canterbury-Bankstown for alterations and additions to the existing single-storey brick rendered cottage at No. 33 Third Street, Ashbury NSW 2193.

In our opinion, the proposed development satisfies the objectives for the Low Density Residential (R2) Zone under the Canterbury-Bankstown Local Environmental Plan 2023 and is permissible within the zone. The proposal complies with the 8.5m maximum building height limit. The proposed works maintain the existing single-storey presentation to Third Street and give due consideration to the character and significance of the Ashbury Conservation Area (Wattle Hill Precinct).

This document is divided into five (5) sections. Section 2 contains a site analysis and provides details of the proposal. Sections 3 and 4 contain the planning controls and the detailed assessment of the application in accordance with the Environmental Planning and Assessment Act 1979. Section 5 concludes the report.

This SEE has been prepared in accordance with the requirements of Clause 2.1 of the Environmental Planning and Assessment Regulation 2021.

2.0 SITE ANALYSIS

This section contains a description of the following: The Locality; Site Description; Existing Built Form and Landscaping; Existing Character and Context; Surrounding Road Network; and the Details of the Proposal.

2.1 The Locality

The subject site is located within the Ashbury Conservation Area (Wattle Hill Precinct) within the Local Government Area of the City of Canterbury-Bankstown. The site at No. 33 Third Street is located within the numbered streets precinct of Ashbury, one of Sydney's most intact inter-war residential suburbs, bounded generally by King Street to the north, Ashfield to the north-west, and Canterbury to the south.

The suburb of Ashbury is situated approximately 10 kilometres south-west of the Sydney CBD and is noted for its highly consistent streetscape of single-storey inter-war Californian bungalows and Federation-period cottages. Third Street, which runs east-west through the Wattle Hill Precinct, is a quiet, fully tree-lined residential street characteristic of the precinct.

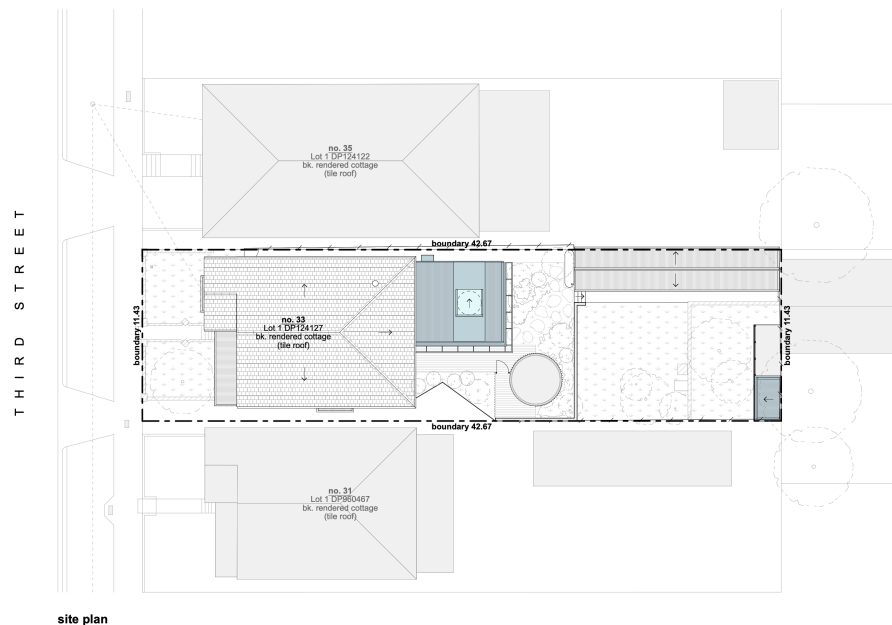


FIGURE 1: Location Plan of Subject Site – 33 Third Street, Ashbury NSW 2193

2.2 Site Description

The subject site is located on the northern side of Third Street, between King Street and Holden Street, and is known as No. 33 Third Street, Ashbury, described as Lot 1 in Deposited Plan 124127.

The site is a rectangular parcel of land with a frontage of 11,430mm to Third Street and a depth of 42,670mm to both northern and southern boundaries, providing a total site area of 487.7m² (as per Survey No. 66847001A). The rear northern boundary is 11,430mm.

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The site rises to the north with a fall from north to south. The existing floor levels range from FL 25.61 to FL 26.61 (AHD approximate) as indicated on the site plan.



Source: Six Maps

FIGURE 2: Aerial Photograph of Subject Site - 33 Third Street, Ashbury NSW 2193

2.3 Existing Built Form and Landscaping

The site is occupied by an existing single-storey, brick rendered cottage with a tile roof that is characteristic of the Wattle Hill Precinct of the Ashbury Conservation Area. The dwelling is part of a consistent row of single-storey brick rendered cottages along Third Street, including the adjoining properties at No. 31 (Lot 1 DP960467) and No. 35 (Lot 1 DP124122), which are both of similar form, scale and construction.

The existing main dwelling (123.49m² GFA) comprises the following accommodation at ground floor level:

- Bedroom 1 (carpet)
- Bedroom 2 (carpet)
- Bedroom 3 (carpet)
- Hall (floorboards)
- Bathroom and separate WC/Bath
- Kitchen (tiles)
- Living Room (floorboards)
- Dining Room (floorboards)
- Front Verandah (tiles)

A separate granny flat (30.8m² GFA) is located at the rear of the site. The existing granny flat is to be retained as part of the proposed development.

The existing dwelling features a front verandah with masonry columns, terracotta tile roof, painted brick walls, traditional timber windows, leadlight details to main bedroom. The front setback provides a landscaped garden consistent with the prevailing street character.

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Source: SWAD PL
Photograph 1: Existing Street Frontage



Source: SWAD PL
Photograph 2: Existing Rear Façade



Source: SWAD PL
Photograph 3: Existing Living / Dining Area



Source: SWAD PL
Photograph 4: Existing Kitchen



Source: SWAD PL
Photograph 5: Existing Bedroom



Source: SWAD PL
Photograph 6: Existing Bathroom

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Source: SWAD PL
Photograph 7: Existing Verandah and Garden



Source: SWAD PL
Photograph 8: Existing Granny Flat

Backyard of established lawn, hills hoist, concrete path leading to a granny flat located on the NW boundary. A mango tree to the rear of the property and a metal shed. Timber paling fences to north and west boundaries, Colorbond metal fence to east boundary with a timber-framed carport with metal roof to the eastern side of the backyard, access via a roller door with shared driveway between property 31 and 33.

2.4 Access and Car Parking

The site is pedestrian accessed from Third Street via the existing pathway to the outdoor verandah. A right of carriageway between property 31 and 33, providing off street parking for one car to the rear backyard, is noted on the site survey. There is ample parking on Third Street in this quiet residential area.

The proposed development does not include the provision of new off-street parking or a new vehicular crossover. The development maintains the existing pedestrian access arrangement. The proposal is consistent with DCP 5.2 Clause 2.18 which limits driveway widths to a maximum of 3.5m or 40% of the site width at the allotment boundary.

2.5 Existing Character and Context

The Ashbury Conservation Area (Wattle Hill Precinct) is identified in the Canterbury-Bankstown Development Control Plan 2023 as being of local aesthetic and historical significance. The precinct derives its significance from its highly consistent inter-war residential development, which occurred largely between 1919 and 1929 following the initial subdivision of the Wattle Hill Estate in 1915.

The predominant architectural style of the numbered streets precinct is the inter-war Californian bungalow, characterised by: single-storey scale; brick rendered or face-brick external walls; gabled and hipped roofs clad in unglazed red terracotta tiles; generous front verandahs supported by brick or timber columns; decorative leadlight windows with Art Nouveau or Art Deco motifs; and well-proportioned front garden setbacks.

Third Street presents a remarkably consistent streetscape character with single-storey dwellings set back uniformly from the street, a fully tree-lined road reserve, and no significant alterations or intrusions to the primary building line. The subject site at No. 33 and its immediate neighbours at No. 31 and No. 35 are all brick rendered cottages with tile roofs that contribute positively to the character and significance of the Heritage Conservation Area.



Source: SWAD PL
Photograph 9: No. 35 Third Street Adjoining Property



Source: SWAD PL
Photograph 10: No. 31 Third Street Adjoining Property

2.6 Surrounding Road Network

Third Street is a local residential street running east-west within the Wattle Hill Precinct. The street operates as a low-volume, two-way residential road with on-street parking to both sides and a generous tree-lined road reserve. The southern end of the street connects to Holden Street.

The site is in proximity to public transport including bus routes on King Street to the north and Canterbury Station (Bankstown Line) approximately 1.5km to the south. The Canterbury Park Racecourse is located nearby to the south-east. Ashfield Station (Main Suburban Line) is also accessible to the north-west.

2.7 Details of the Proposal

The proposal involves alterations and additions to the existing single-storey brick-rendered cottage at No. 33 Third Street, Ashbury. The proposed works are summarised as follows:

GROUND FLOOR – Proposed Works

- Item 1 - Demolish rear lean-to/structure, laundry and carport (identified as non-contributory)
- Item 2 - New rear addition open plan kitchen, pantry and laundry
- Item 3 - Remove kitchen from existing house and replace with bathroom, office and convert existing bathroom to an ensuite accessed from master bedroom 1
- Item 4 - Circular pool with associated walkway, pool fencing and deck
- Item 5 - External hard and soft landscaping, garden store and drying area

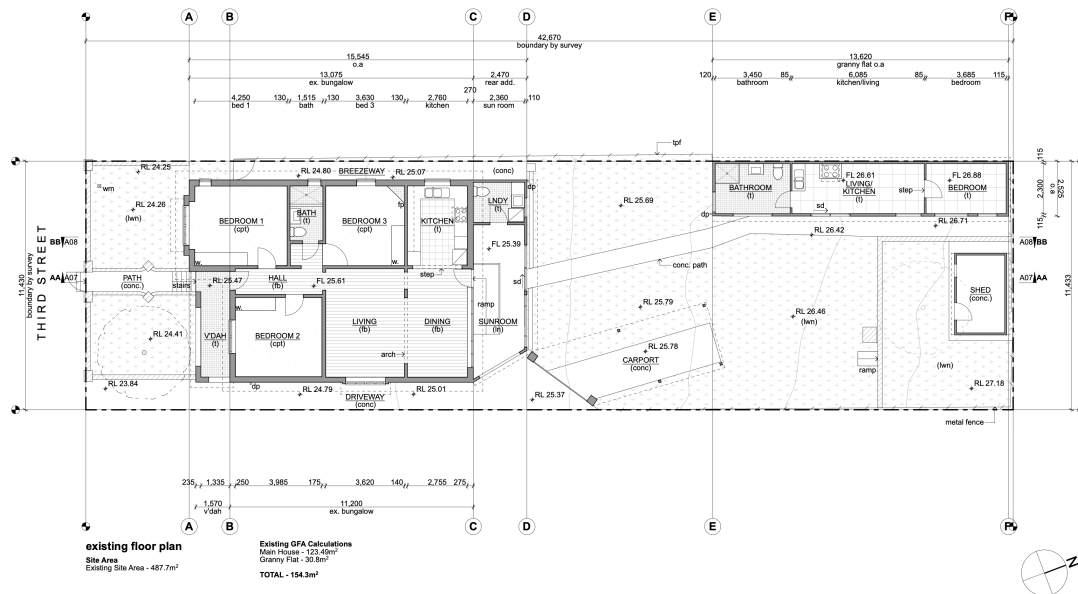


FIGURE 3: Existing Ground Floor Plan (Source: SWAD) - Not to Scale

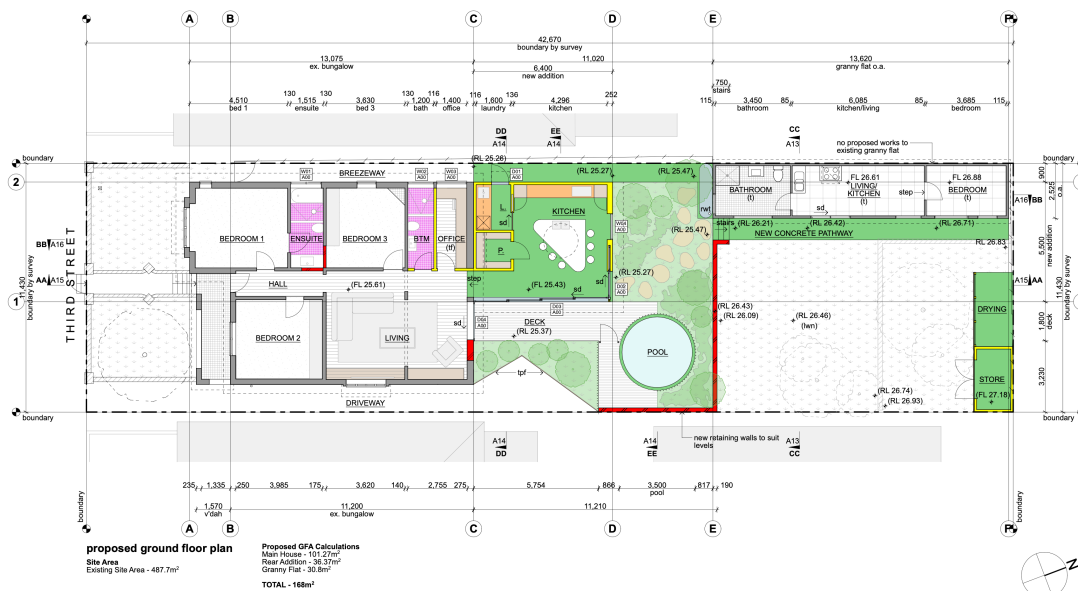


FIGURE 4: Proposed Ground Floor Plan (Source: SWAD) - Not to Scale

INTERNAL WORKS

- Proposed office to match existing timber floorboards, stud plasterboard walls and office joinery
- Rear addition concrete slab, stud framing, fc/tiles wet areas and joinery wall cladding
- Kitchen and island unit, pantry/laundry unit joinery and stone benchtops

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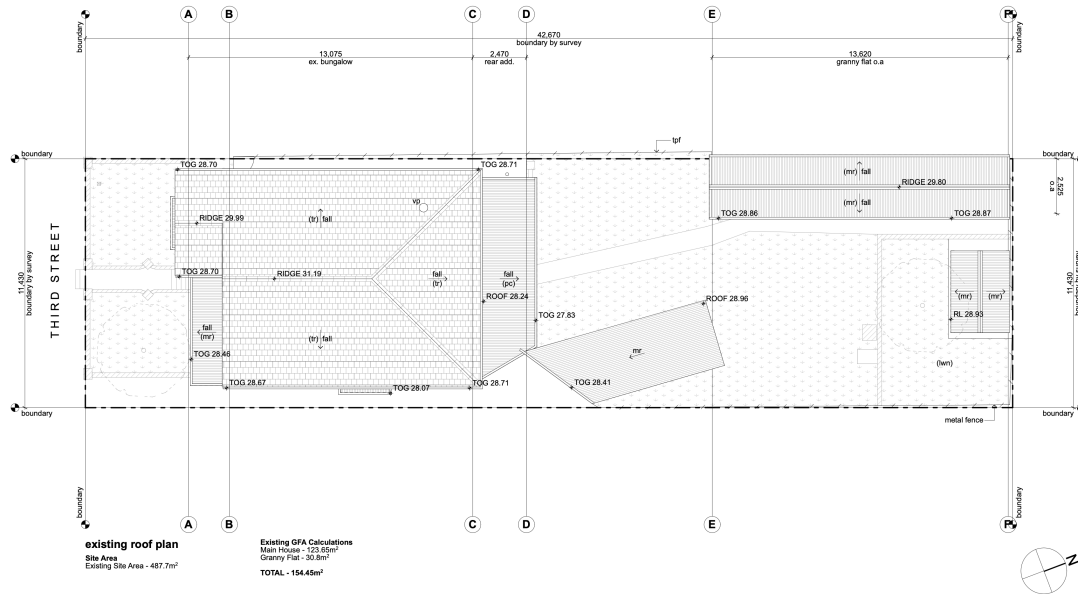


FIGURE 5: Existing Roof Plan (Source: SWAD) - Not to Scale

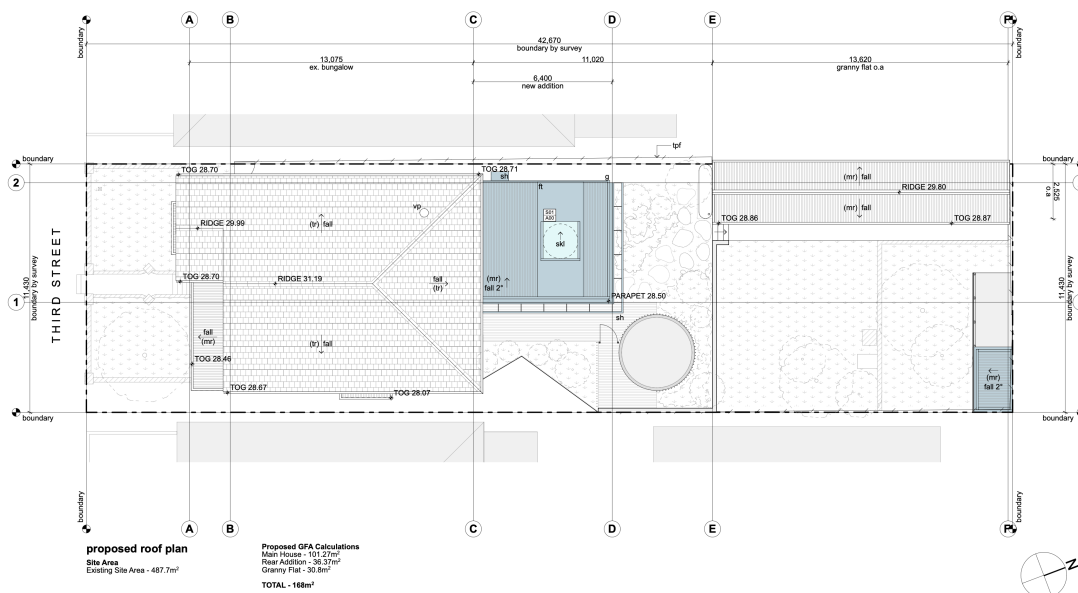


FIGURE 6: Proposed Roof Plan (Source: SWAD) - Not to Scale

External Works and Materials

A contemporary single-storey addition with a flat metal klip-lok roof, a fixed glass skylight and custom gutter to western side. Aluminium glass sliding stacking doors to eastern and northern facades and a timber external slider to existing northern façade. External landscaping of soft landscaping, above-ground concrete/tiled pool, retaining walls and concrete steps to access the existing rear lawn and garden beds.

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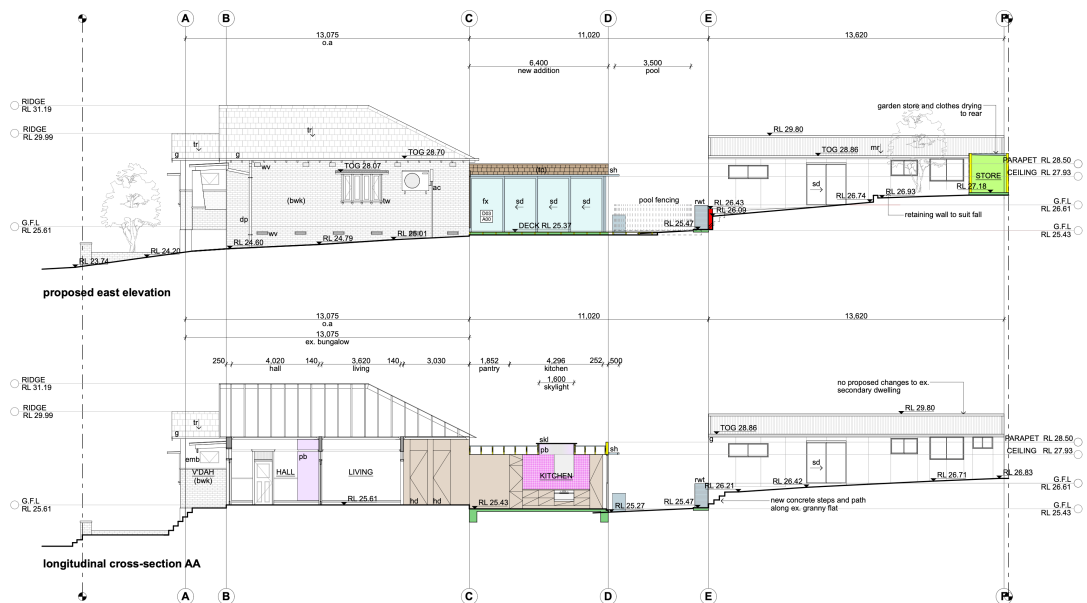


FIGURE 7: Proposed East Elevation & Cross section AA (Source: SWAD) - Not to Scale

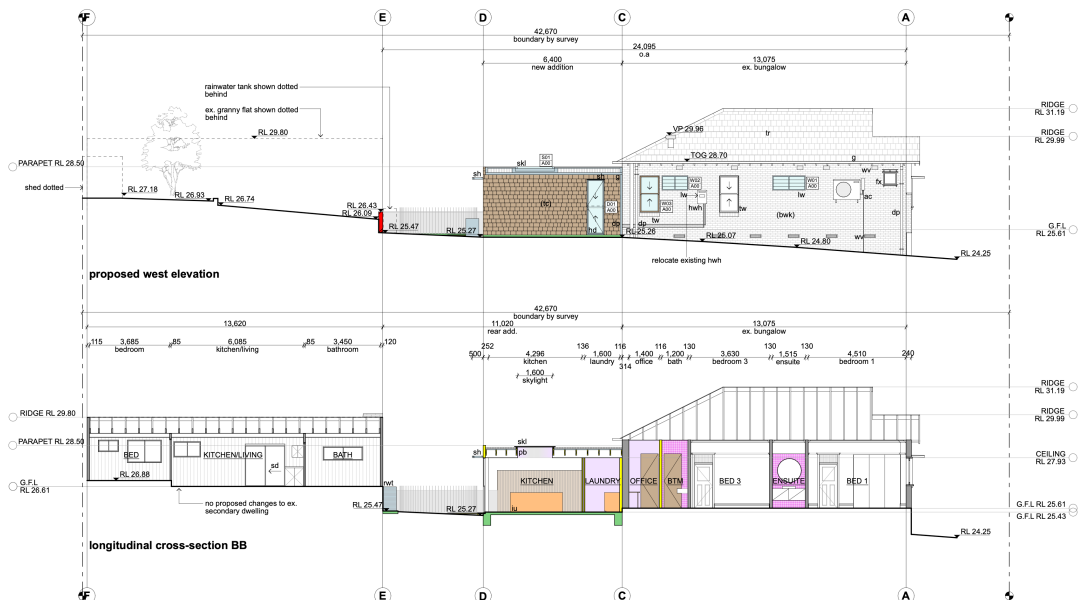


FIGURE 8: Proposed West Elevation & Cross Section BB (Source: SWAD) - Not to Scale

Height

The height of the existing dwelling on the Third Street frontage will remain unaltered. The proposed additions conform to appropriate datum heights as indicated on the survey plan and comply with the maximum building height of 8.5m under the Canterbury-Bankstown LEP 2023. The proposed works will not alter the single-storey presentation of the dwelling as viewed from Third Street in accordance with DCP Chapter 5.2, Building Envelope 2.5 Height C1(b).

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3.0 PLANNING CONTROLS

Pursuant to Section 4.15(1)(a) of the Environmental Planning and Assessment Act 1979 (EP&A Act), this section assesses the compliance of the proposal with the planning controls applicable to the site. The relevant planning controls include:

- Canterbury-Bankstown Local Environmental Plan 2023 (CB LEP 2023)
- Canterbury-Bankstown Development Control Plan 2023 (CB DCP 2023)
- State Environmental Planning Policy (Sustainable Buildings) 2022
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

3.1 Canterbury-Bankstown Local Environmental Plan (LEP) 2023

The subject site is zoned R2 - Low Density Residential under the Canterbury-Bankstown Local Environmental Plan 2023. The site is also identified within the Ashbury Heritage Conservation Area on Council's LEP Heritage Map; however, the existing dwelling is not individually listed as a heritage item.

Alterations and additions to dwelling houses are permissible with development consent in the R2 zone. The proposed development is permissible within the zone.

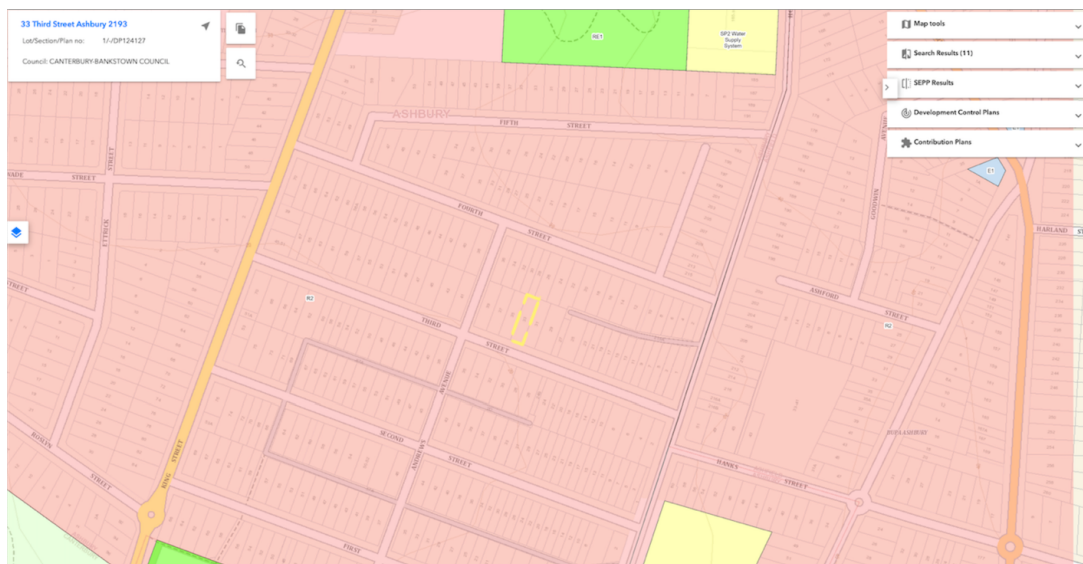


FIGURE 9: Zoning Map - R2 Low Density Residential (Source: CB LEP 2023 Land Zoning Map)

3.1.1 Objectives of the R2 - Low Density Residential Zone

The relevant objectives of the R2 zone are:

- To provide for the housing needs of the community within a low-density residential environment.
- To provide a variety of housing types within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day-to-day needs of residents.
- To provide development opportunities that are compatible with the desired future character and amenity of Canterbury-Bankstown.

In our opinion, the proposed alterations and additions to the existing dwelling are compatible with the residential character of the locality. The modifications have been

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designed to improve the amenity, functionality and passive solar performance of the dwelling while maintaining its single-storey street presentation. The proposal will not have any adverse impacts on the environmental attributes of the surrounding area and is consistent with the relevant objectives of the R2 zone.

3.1.2 Heritage

The subject site is located within the Ashbury Conservation Area (Wattle Hill Precinct) as identified on the Canterbury-Bankstown LEP 2023 Heritage Map. The Conservation Area is of local significance. The area is subject to the provisions of Part 5 of the LEP, in accordance with Clause 5.10 Heritage Conservation.

A Heritage Impact Statement (HIS) has been prepared by SWAD, a specialist heritage consultant with a professional history in residential heritage conservation areas. The HIS is submitted separately with this Development Application.

3.1.3 Floor Space Ratio

The maximum FSR of 0.55:1 applies to the subject site under the Canterbury-Bankstown LEP 2023.

FSR Compliance - CB LEP 2023

PROVISION	REQUIREMENT	PROPOSAL	COMPLIES
Site Area	487.7m ² (by survey)		
Maximum FSR	0.55:1		
Maximum GFA	268.24 m ²		
Existing Main House GFA		123.49 m ²	
Existing Granny Flat GFA		30.8 m ²	
Total Existing GFA		154.3 m ²	
Proposed Additional GFA		31.81 m ² (rear addition) 4.56 m ² (store)	
Total Proposed GFA		168 m ²	Y
Proposed FSR		0.344:1	Y

Refer to Site Plan Drawing A01 and any additional area schedules for confirmation of existing and proposed GFA calculations.

The relevant objectives of the FSR control are to retain the patterns of height, bulk and scale that are distinctive to particular streetscapes and precincts, and to minimise overshadowing of private and public open spaces. As discussed, the proposed additions reflect the siting, built form, scale and nature of the surrounding area and do not result in unreasonable bulk or scale within the context of the streetscape.

3.2 Canterbury-Bankstown Development Control Plan (DCP) 2023

The site is located within the Canterbury-Bankstown Development Control Plan 2023. The consistency of the proposed development with the relevant clauses of the DCP is assessed in Table 2 on the following pages.

TABLE 1: Project Data Compliance - Canterbury-Bankstown LEP 2023

PROVISION	REQUIREMENT	PROPOSAL	COMPLIES
Land Zone Map - R2 Low Density Residential	Single residential dwelling permissible with consent	Alterations & Adds to existing dwelling	Y
Building Height Map (LEP Cl. 4.3)	Max. 8.5m	Existing single storey	Y
FSR Map (LEP Cl. 4.4)	Maximum 0.55:1 Max GFA: 268.23m ²	Proposed GFA: 168m ²	Y
Lot size	Minimum 460m ²	487.7m ²	Y
Heritage Map	Ashbury Conservation Area Wattle Hill Precinct (Local)	HIS required	Y
SEPP (Exempt & Complying Development Codes)	CDC not applicable within Heritage Conservation Area	DA pathway required	Y

3.2.1 DCP Part 21 - Residential Development Controls

TABLE 2: Project Data Compliance - Canterbury-Bankstown DCP 2023 Chapter 5.2 & 5.1

CLAUSE	REQUIREMENT	PROPOSAL	COMPLIES
2.2 Site Coverage	Max area of building footprint 330m ²	Coverage is 191m ²	Y
2.3 C1 Landscaping	20% of the site area deep soil landscaping	Refer landscape plan	Y
2.4 Layout Orientation	Orientate development to maximise solar access and natural lighting	Rear addition positioned North and East orientation	Y
2.5 C1 Height	Max external wall height of 7m where the height of buildings standard under the LEP is 8.5m and Max 2 storeys	Rear addition Wall height is under that limit, sits under the main roof eaves.	Y
2.6 C2 Setbacks	Side setbacks min. 900mm from side boundaries	To match existing home setback	Y
2.8 C1 General Design	Contemporary architectural designs maybe acceptable	All additions located behind existing building line	Y
2.9 Roof Design and features	Ensure the roof design does not dominate the building or other roofs	A flat roof that sits sympathetically under the main roof eaves	Y
Chapter 5.1 2.10 Private Open Space	Min. 80m ² of the site area POS behind the front building line. Min. width 5m	Refer landscaping plan proposed POS 187.8m ²	Y
2.10 C3 Amenity	Min. 3 hours of sunlight	Refer shadow diagrams	Y

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Solar access and overshadowing	between 8am and 4pm 21 st June, living areas and 50% to Private Open Space		
2.11 C1 Visual Privacy	Locate new development to maximise visual privacy between buildings	Addition has no windows to western side with sliding doors to the east	Y
2.12 C1 Acoustic Privacy	Protect bedrooms from likely noise	Existing bedrooms are contained within ex. house	Y
2.13 C3 Fences	Side fences 1.8m Front fences max 1.2m	Ex fence retained	Y
2.14 C14 Swimming pools	Min. setback of 1m from side boundary	Setback 1m for side boundary	Y
2.5 C7 Building Services	A/C units not visible from street elevation	Ex a/c unit to side breezeway	Y
2.18 Landscape & Driveways	Maximum driveway width 3.5m or 40% of site width	Ex driveway with shared easement with No.31	Y
DCP 2023 Character Statement - Ashbury HCA	Ashbury Heritage Conservation Area (Wattle Hill Precinct) Contributory 2	Heritage Impact Statement maybe required	Y
DCP 2023 Chapter 4 Heritage	Additions not to adversely impact heritage significance; sympathetic materials and form	Contemporary design respects existing form and scale	Y

3.2.2 Acoustic and Visual Privacy DCP Parts 2.11 and 2.12

The proposal has been designed with privacy as a key consideration. No significant privacy impacts to adjoining properties at No. 31 or No. 35 Third Street are anticipated. Existing air conditioning units to the eastern and western facades are located and screened to minimise noise impacts to adjoining properties.

3.2.3 Solar Access and Overshadowing DCP Part 2.10

Shadow diagrams have been prepared by SWAD from 8.00am through to 4:00pm at four-hour intervals for the winter solstice (June 21). The diagrams demonstrate that the proposed development will not result in unreasonable overshadowing of private open spaces or principal windows of adjoining properties.

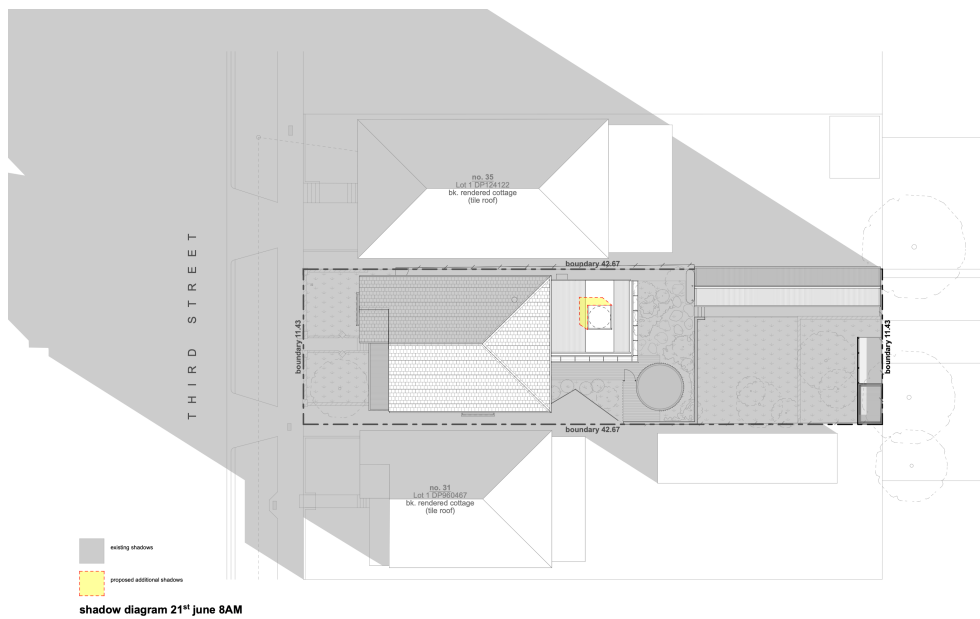


FIGURE 10: Shadow Diagrams - Winter Solstice 21 June 8:00am (Source: SWAD)

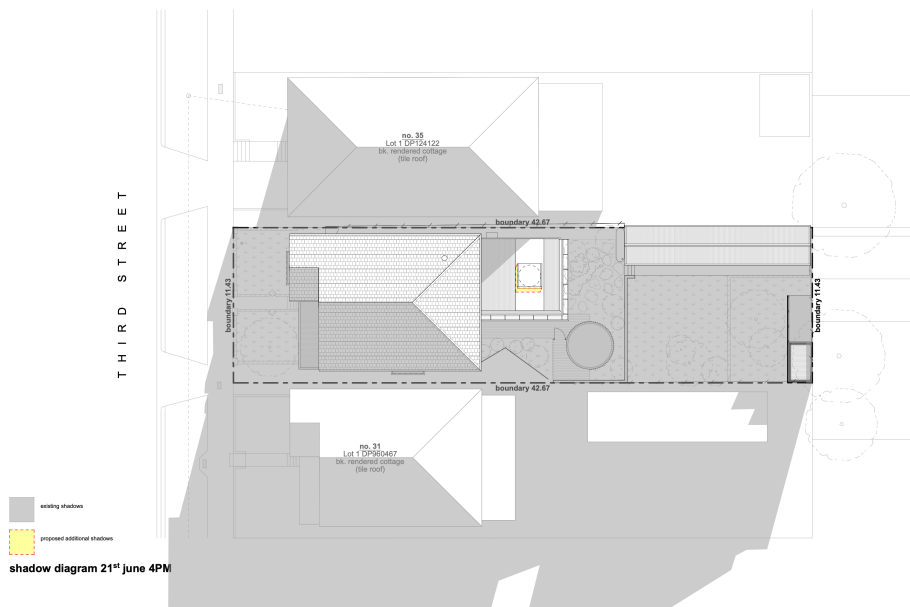


FIGURE 11: Shadow Diagrams - Winter Solstice 21 June 4:00pm (Source: SWAD)

3.2.4 Energy Efficiency DCP 2023 Chapter 2 Site Considerations Part 1.2

A BASIX Certificate is submitted separately with this Development Application in accordance with the State Environmental Planning Policy (Sustainable Buildings) 2022. The proposed alterations and additions incorporate passive solar design principles, including north-facing living areas, cross-ventilation, appropriate shading devices, insulation and thermal mass. The BASIX assessment demonstrates that the proposal achieves the required performance targets for water, thermal comfort and energy.

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3.2.5 Landscaping and Open Space DCP 2023 Chapter 5.1 C1 and 5.2 C2.10

A landscape plan A17 is submitted separately with the Development Application. The proposal demonstrates compliance with the minimum open space and deep soil landscaping requirements of DCP Chapter 5.1 and Clause C1 and Clause 5.2 Clause C2.10 as follows:

PROVISION	REQUIREMENT	PROPOSAL	COMPLIES
Site Area	487.7m ²		
Min Open Space	80m ² of the site area behind the front building line.	Proposed 187.8m ²	Y
Deep soil landscaping	20% of the site area Min. deep soil landscaping 97.54m ²	Proposed 175m ²	Y

3.2.6 Tree Management DCP 2.3

An Arboricultural Impact Assessment is not required.

3.2.7 Site Facilities and Waste Management DCP Part 3.3

A Recycling and Waste Management Plan (RWMP) has been prepared and is submitted separately with this Development Application for alterations and additions affecting more than 20m². The RWMP addresses demolition waste, construction waste, and ongoing operational waste requirements.

The following bin types are provided:

- 1 x 240L Recycling bin
- 1 x 140L General waste bin
- 1 x 240L Green waste bin

3.2.8 Development Engineering Standards DCP Part 3.1

A Stormwater Drainage Concept Plan (SDCP) has been prepared by SWAD and is submitted separately with this Development Application. The SDCP includes existing and proposed ground floor levels, surface path treatment, overland flow path details, and sizes of internal piped systems.

3.2.9 Heritage DCP 4

The subject site is located within the Ashbury Conservation Area (Wattle Hill Precinct), as identified in the Canterbury-Bankstown LEP 2023 Heritage Map. The Heritage Conservation Area is of local aesthetic and historical significance.

The proposed alterations and additions have been designed in accordance with the following heritage principles:

- The proposed additions are located to the rear of the dwelling and are not visible from Third Street or the public domain.
- The primary street facade of the existing cottage is fully retained. No alterations are proposed to the front elevation, verandah, or principal building form facing Third Street.
- The proposed additions adopt a recessive design that is sympathetic to the existing dwelling without replicating period heritage details. New work is intended to be legible as a contemporary addition.

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- Materials and colours proposed for new works are selected to be sympathetic to the existing brick-rendered cottage character, including timber cladding, a metal roof, and aluminium windows and doors, with a timber sliding door sympathetic to the rear addition.
- The proposed works will not compromise the heritage significance of the Ashbury Conservation Area or the visual character of the Wattle Hill Precinct.

Refer to the separately submitted Heritage Impact Statement (HIS) prepared by SWAD for the full heritage assessment.

4.0 PLANNING ASSESSMENT

This section considers the following in accordance with Section 4.15(1)(b), (c) and (e) of the EP&A Act 1979: the Assessment of Natural Environmental Impacts; the Assessment of Built Environment Impacts; Assessment of Site Suitability; and the Social and Economic Impact and the Public Interest.

4.1 Assessment of Natural Environmental Impact - S.4.15(1)(b)

4.1.1 Topography and Scenic Impacts

The proposed development involves alterations and additions to an existing single-storey dwelling on a predominantly moderate sloping site. The proposal does not involve any significant excavation or changes to existing site levels. Topographic and scenic impacts are considered negligible. All existing trees are to be retained.

4.1.2 Micro-Climate Impacts

The proposed development is unlikely to result in any adverse effects to the microclimate in the locality. The proposed passive solar design approach - including: north-facing glazing, shading, cross-ventilation, thermal mass - will improve the internal microclimate of the dwelling and reduce reliance on artificial heating and cooling.

4.1.3 Water and Air Quality Impacts

The proposed development is, in our opinion, unlikely to result in any adverse effects on the locality in terms of water and air quality. A Stormwater Drainage Concept Plan has been prepared by SWAD to manage stormwater runoff from the proposed additions and is submitted separately. Appropriate erosion and sediment control measures will be implemented during construction in accordance with the applicable requirements.

4.2 Assessment of Built Environment Impact - S.4.15(1)(b)

4.2.1 Impact on the Area's Character

The proposal has been designed with no changes to the Third Street facade. The existing brick-rendered cottage presentation, including the front verandah, windows, and roof form as viewed from Third Street, is fully retained. This is consistent with DCP 5.2 Clause 2.8 General Design C1(b) which requires alterations and additions to maintain the appearance of a single-storey house from the street.

The proposed additions are to the rear of the existing dwelling and are not visible from the street or public domain. The additions improve the functionality, amenity and passive solar performance of the dwelling while remaining subordinate to the primary building form.

The rear additions are only visible from the private backyards of adjoining and rear properties, with views appropriately managed through the design. Contemporary design is

Statement of Environmental Effects for the Alterations and Additions at 33 Third Street, Ashbury NSW 2193

supported within Heritage Conservation Areas where it can be demonstrated that it is consistent with the character of the area. The proposed additions have been designed to be clearly legible as new work while respecting the form, scale and materials of the heritage context.

4.2.2 Aural and Visual Privacy Impact

The proposal has been designed to respect the existing levels of privacy between the dwelling and adjacent neighbours at No. 31 and No. 35 Third Street and to the rear. The proposed additions are inward-looking towards the rear garden and do not create unreasonable privacy impacts to adjoining properties.

4.2.3 Impact on Sunlight Access

Shadow diagrams have been prepared and are included at Figure 10 & 11 above. The proposed development demonstrates no unreasonable overshadowing of the private open spaces or principal living room windows of adjoining properties at No. 31 or No. 35 Third Street, or to properties to the rear, in accordance with the DCP requirements. Adjoining properties retain a minimum of 3 hours of direct solar access between 8:00am and 4:00pm on 21 June.

4.2.4 View Impacts

There are no significant distant views available from or through the subject site that would be affected by the proposed development. The proposed additions will not have any adverse impact on adjoining properties in respect of view loss. Views from adjoining properties towards and through the subject site are limited due to the existing building footprint and established garden plantings.

4.2.5 Heritage Impacts

The proposed alterations and additions will not adversely affect the heritage significance of the Ashbury Conservation Area (Wattle Hill Precinct). The primary street facade of the cottage is fully retained. The proposed additions are located to the rear and designed to be sympathetic to the existing building while being clearly distinguishable as new work, consistent with the principles of the Australia ICOMOS Burra Charter. Refer to the separately submitted Heritage Impact Statement (HIS) for the comprehensive heritage assessment.

4.2.6 Environmentally Sustainable Development

A BASIX Certificate has been prepared and submitted separately with the Development Application. The proposed alterations and additions incorporate passive solar design principles and comply with all required BASIX targets for water, thermal comfort and energy. The proposed works will improve the environmental performance of the existing dwelling compared to its current condition.

4.2.7 Waste Management

The proposal involves alterations and additions to an existing residential dwelling. A Recycling and Waste Management Plan (RWMP) has been prepared and submitted separately. Demolition and construction waste will be managed in accordance with applicable requirements and the RWMP. Reuse and recycling of materials will be maximised.

4.3 Assessment of Site Suitability - S.4.15(1)(c)

4.3.1 Proximity to Services and Infrastructure

The site is well served by existing infrastructure and is within walking distance of public transport including bus routes on King Street and Canterbury Station approximately 1.5km to the south. The subject site can utilise the existing electricity, water, sewer and telecommunications connections. No infrastructure augmentation is anticipated to be required.

4.3.2 Traffic Parking and Access

The proposed development does not involve any change to the number of dwellings on the site and will not generate any additional traffic. The proposal does not include a new vehicular crossover and maintains the existing pedestrian access arrangements. There is no adverse impact on the availability of on-street parking on Third Street.

4.3.3 Hazards

The site is not identified as being subject to flooding, bushfire, landslip, acid sulfate soils, or any other specific natural hazard on Council's mapping or the NSW Planning Portal. The subject site is not identified as a contaminated land site. The proposed development will not increase the likelihood of any hazard.

4.3.4 Safety, Security and Crime Prevention

The proposed alterations and additions will improve the safety and security of the existing dwelling through specific measures, new door hardware, lighting, improved sightlines to rear garden. The proposal is consistent with the principles of Crime Prevention Through Environmental Design (CPTED).

4.3 Social and Economic Impact and the Public Interest - S.4.15(1)(e)

The proposed development responds positively to the existing streetscape and heritage character of Third Street by fully retaining the primary facade of the existing cottage and ensuring that all proposed additions are located to the rear and are not visible from the public domain.

The proposal makes the most efficient use of the subject site by providing improved living areas with enhanced natural light, cross-ventilation and connection to the rear garden. These improvements are consistent with contemporary standards of residential amenity and the objectives of the R2 zone.

The proposed development will have positive social and economic effects by improving the quality and liveability of the existing dwelling while conserving and enhancing the heritage character of the Ashbury Conservation Area. In our opinion, the proposed development is in the public interest and is a quality architectural response to the heritage context of the Wattle Hill Precinct.

5.0 CONCLUSION

The proposed development has been assessed in accordance with Section 4.15(1) of the Environmental Planning and Assessment Act 1979 and the applicable planning instruments of the City of Canterbury-Bankstown.

The proposal for alterations and additions to the existing dwelling at No. 33 Third Street, Ashbury NSW 2193 is permissible with development consent in the R2 - Low Density Residential zone under the Canterbury-Bankstown Local Environmental Plan 2023. In our opinion, the proposal is consistent with the relevant objectives of the LEP and the R2 residential zone.

Responding specifically to the guidelines established by the Canterbury-Bankstown DCP 2023 and the requirements of the Ashbury Conservation Area (Wattle Hill Precinct), the proposal:

- Fully retains and enhances the existing brick rendered cottage facade to Third Street, maintaining the single-storey street presentation in accordance with DCP Clause 21.13.
- Locates all proposed additions to the rear of the existing dwelling behind the predominant building line, consistent with DCP Clauses 2.8 C1.
- Demonstrates compliance with the maximum FSR of 0.55:1 under the CB LEP 2023.
- Complies with the maximum building height of 8.5m under the CB LEP 2023.
- Is sympathetic to the heritage character of the Ashbury Conservation Area (Wattle Hill Precinct) and does not adversely affect the significance of the Conservation Area.
- Incorporates passive solar design principles in accordance with BASIX requirements.
- Provides adequate landscaping and open space in accordance with DCP 4.3 Clause 21.19.
- Will not result in any unreasonable overshadowing, privacy impacts, or traffic generation.

The proposed alterations and additions will significantly improve the amenity, functionality, sustainability and connection to the rear garden of an existing heritage cottage while ensuring that the heritage values and streetscape character of the Wattle Hill Precinct are fully respected and protected for future generations.

For all of the above reasons, it is our opinion that the proposed development at No. 33 Third Street, Ashbury NSW 2193 is an appropriate development for the subject site and is in the public interest. We respectfully request that the Development Application be approved by the City of Canterbury-Bankstown Council, subject to appropriate conditions of consent.